



MEMORANDUM

(610) 478-6300
FAX: (610) 478-6316

Berks County Planning Commission
Berks County Services Center
633 Court Street, 14th Floor
Reading, PA 19601-4309

TO: Berks County Planning Commission Board

FROM: Michelle D. Franklin
Planner III

RE: Perma Column LD (Revised Plan dated 5-15-24)
Lenhartsville Borough

DATE: June 5, 2024

The Berks County Planning Commission is in receipt of the revised Perma Column Preliminary/Final Land Development Plan submission for the Borough of Lenhartsville. The Borough does not have its own Subdivision and Land Development Ordinance; therefore, the plan review will follow the *Berks County Planning Commission's Land Subdivision and Land Development Regulations of 1990* (SALDO) and is being presented to the Commission for action on the proposal. The plan has been submitted to Lenhartsville Borough representatives, Kraft Municipal Group is the Borough's Engineer and Zoning Officer.

PROJECT DESCRIPTION:

The proposal is for the construction a new 10,752 square foot storage building and a 3,627 square foot building addition to the existing structure on the 1.97-acre parcel. The site known as 65 R W Penn Street is located on the north side of West Penn Street (S.R.4028) and west side of Willow Street (S.R.0143). Access to the existing parcel is over access easement(s).

PROJECT FINDINGS: (The bulleted items below are from last month's Memo. The *Italicized* indented comments are the updated information provided from the project engineer's Response letter and the revised plan.)

- The site is located within an Existing Development area and an Environmental Hazard area according to the *Berks Vision 2030 Update Future Land Use Plan*. The Environmental Hazard area is identified within the area of the 100-year floodplain associated with Furnace Creek along the northern side of the site, as identified on the 2012 FEMA FIRM panels. The new site development will occur in the Existing Development area, no development is proposed within the Environmental Hazard area of the site.
- The site is within the Borough's CI - Commercial - Industrial zoning district. The proposal meets the requirements of the zoning district. Per correspondence with the Borough's Zoning Officer.
- The site is served with on-lot water and public sewer. A new sanitary sewer lateral is shown connecting to the new storage building.
- On-site access to the northern portion of the site where the proposed parking area will be located appears to be blocked by a proposed curb in the area of the propane tank. Access to the proposed parking should be identified.

The revised plan identifies a second access easement that will provide access to the proposed parking area.

Section 2A Submission Procedures

- SALDO Section 2.262A: The project should be coordinated with the Berks County Conservation District.
Response letter from The Crossroads Group states that the Approval letter will be forwarded to this office upon receipt.
- SALDO Section 2.263A: The subdivider/developer shall be responsible to coordinate the project with the Local Sewer Authority.
Response letter from The Crossroads Group states that the Correspondence from the Borough will be forwarded to this office upon receipt.
- SALDO Section 2.44A: At the time of Final Plan submission, the Berks County Planning Commission must be in written receipt from the Berks County Conservation District for the approval of the sediment and erosion control measures.
Approval letter will be forwarded to this office upon receipt.

Section 3 Plan Requirements

- SALDO Section 3.334: The Final Plan shall show the seal of the registered professional engineer or surveyor responsible for the plan.
Response letter from The Crossroads Group states that this will be provided on the plan as a condition of approval .
- SALDO Section 3.350: The Final Plan shall provide a blank space measuring three and one-half (3 ½) inches square for the appropriate stamp of the Berks County Planning Commission.
A space has been added to the revised plan.
- SALDO Section 3.366: An Improvements Agreement is needed when new storm sewers and/or other improvements may be required.
Response comment 6. On the Crossroads Group letter states that in a discussion with the Borough's Engineer, plan note 13 has been added to the plan in lieu of the need for an improvements agreement. The note has been added to the revised plan.
- SALDO Section 3.367: The Final Plan shall be accompanied by a solid waste management plan, if applicable.
The Revised plan provides two plan notes 11 and 12 to satisfy this requirement.

Section 4 Design Standards

- SALDO Section 4.951: The location, size, and type of bulk storage containers shall be shown and shall be adequate to contain all wastes generated between collections.
- SALDO Section 4.953: All bulk storage areas shall be appropriately screened.
- SALDO Section 4.954: A statement of the method of frequency of refuse collection to be used shall be included on the plan.

The Revised plan identifies the locations of the dumpster and concrete waste pits, and provides two plan notes, 11 and 12, to satisfy the SALDO requirements noted under Section 4.

Section 5 Improvement Specifications

- SALDO Section 5.12: As a condition to review a Final Plan by the County Planning Commission, the subdivider shall agree with the municipality as to the installation of all improvements shown on the Plan and required by these or by municipal regulations. Before the Record Plan may be endorsed by the County Planning Commission, the Subdivider shall submit a completed original copy of the Subdivision Improvements Agreement.

Response comment 11. On the Crossroads Group letter states that in a “discussion with the Borough’s Engineer, due to the minor nature of the improvements associated with the project, plan note 13 has been added to sheet 1 in lieu of the need for an improvements agreement for the site”. Note 13 has been added to the revised plan.

- SALDO Section 5.25: Storm sewers and related facilities shall be installed consistent with acceptable design principals.

Comment not relevant with the Revised plan. A note has been added to sheet 1.02 stating “ Existing Stormsewer Pipe to Remain. Contractor to Adjust Building Foundation as Needed to Avoid Conflict.”

- The proposed buffer yard’s Landscaping Plan should be looked at with regards to the existing sanitary sewer lateral. The developer should ensure that the proposed installation and growth of the trees will not interfere with the existing sanitary sewer lateral.

The Revised plan shows the proposed planting have been relocated. Response comment 13, on the Crossroads Group letter states that the plantings “have been relocated to ensure a minimum of 10’ from the existing and proposed sewer lines”.

- The project site is in the Reading Area Water Authority’s surface water source water protection area. The developer should contact the Reading Area Water Authority for additional information and/or further direction. **The water supplier requests it be notified when the meeting date when the project will be on the next agenda.**

RAWA has been notified, the Response comment 2 under Planning Comments on the Crossroads Group letter states that input from them will be incorporated into the plan as appropriate.

PROJECT RECOMMENDATIONS:

- The proposed expansion is consistent with the *Berks County Comprehensive Plan 2030 Update* and the *Future Land Use Plan*.
- The proposal is consistent with the borough’s zoning regulations, per an email from Kraft Municipal Group, the Borough’s Zoning Officer.
- The Berks County Conservation District approval letter for the erosion and sediment control measures is needed.
- The Borough’s response to the sanitary sewer needs for the proposed building will need to be provided.
- Staff is recommending that the plan be **Approved with Conditions** by the Berks County Planning Commission Board at the Wednesday, June 12th meeting. The conditions being that the approval letter from the Berks County Conservation District and a notice of capacity at the Borough’s sewage treatment plant be provided to the County Planning Commission staff to ensure the noted requirements of the County’s Subdivision and Land Development Ordinance are met. When the conditions have been met, the applicant will have 90 days to record the plan.



The Crossroads Group, LLC

WWW.THECROSSROADSGROUPLLC.COM

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FAX: (484) 660-3742

454 West Valley Ave.
Elysburg, PA 17824
PHONE: (570) 672-2317
FAX: (484) 660-3742

May 24, 2024

Berks County Planning Commission
Berks County Services Center
633 Court Street, 14th Floor
Reading, PA 19601-4309

Attn: Michelle D Franklin, Planner III

Subject: Revised Plan Submission
TCG# 5577 Perma Column LD
Lenhartsville Borough, Berks County, PA

Dear Ms. Franklin:

Enclosed, please find three (3) sets of revised Land Development Plans last revised May 15, 2024, for the above referenced project. The plans have been revised in accordance with the review letter by the Berks County Planning Commission, dated May 10, 2024. I have addressed the comments and revisions in the following outline categorized by the review letter. My responses numerically follow the review letter numbering sequence.

Section 2A Submission Procedures

1. Approval from the Berks County Conservation District will be provided upon receipt.
2. Correspondence from the Borough regarding sewage planning for site will be provided upon receipt.
3. Approval from the Berks County Conservation District will be provided upon receipt.

Section 3 Plan Requirements

4. Plans will be signed & sealed by the plan preparers as a condition of approval.
5. The requested stamp block has been added to the Land Development plan.
6. Per discussion with the Borough Engineer, due the minor nature of the improvements associated with this project, plan note 13 has been added to sheet 1 in lieu of an improvements agreement for the site. The note specifies the need for proper construction & inspection of the improvements shown on the land development plans, prior to the issuance of any occupancy permits for the buildings.
7. Information as required by Section 4.95 has been incorporated into the plan set. A note has been added to the Recording Notes on Sheet 1.00 stating how waste removal is to be handled at the site. Additionally, bulk storage containers have been labeled on sheets 1.00 & 1.02.





Section 4 Design Standards

8. Descriptions & sizes of the bulk storage and waste containers have been added to the plans. The landowner has previously worked with PA DEP to establish the current waste disposal program at the site. The existing systems are being replicated in the proposed location, due the proposed building being over top of the existing waste disposal location.
9. It is our belief that the existing building adequately screens the storage areas.
10. A note has been added to the Recording Notes on Sheet 1.00 stating how waste removal is to be handled at the site.

Section 5 Improvement Specifications

11. Per discussion with the Borough Engineer, due the minor nature of the improvements associated with this project, plan note 13 has been added to sheet 1 in lieu of an improvements agreement for the site. The note specifies the need for proper construction & inspection of the improvements shown on the land development plans, prior to the issuance of any occupancy permits for the buildings.
12. There is no longer stormsewer proposed as part of this project, however it is noted on sheet 1.02 that all construction shall conform with appropriate local, county, and state standards.
13. Proposed plantings have been relocated to ensure a minimum of 10' from the existing and proposed sewer lines.

Planning Comments

1. Proposed plantings have been relocated to ensure a minimum of 10' from the existing and proposed sewer lines.
2. The Reading Area water authority has been notified of the proposed development, input from them will be incorporated into the plan as appropriate.

If you should have any questions concerning this resubmission, do not hesitate to call.

Sincerely,

By: Luke Kamp
The Crossroads Group, LLC



PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

OF

PERMA COLUMN LD

A COMMERCIAL SITE IN

LEHNARTSVILLE BOROUGH, BERKS COUNTY, PENNSYLVANIA

PREPARED FOR

PERMA COLUMN LLC.

65 R W PENN ST
LEHNARTSVILLE, PA 19534

PLANS PREPARED BY



The Crossroads

GROUP, LLC

www.thecrossroadsgroupllc.com

769 State Street
Hamburg, PA 19526

Phone: 484-660-3055

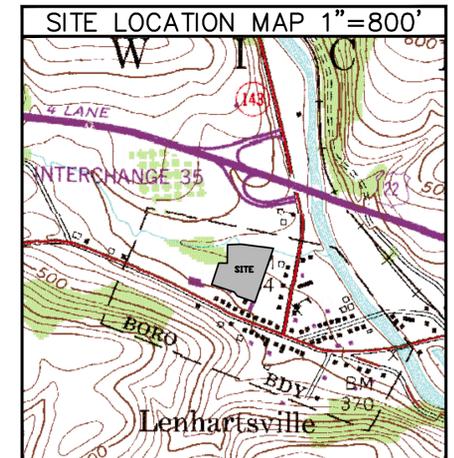
Fax: 484-660-3742

454 W. Valley Ave
Elysburg, PA 17824

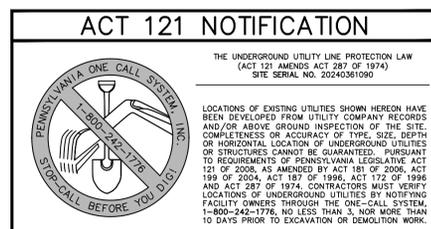
Phone: 570-672-2317

CIVIL ENGINEERING † LAND DEVELOPMENT † SITE SURVEY † A/E TELECOM

Sheet Index	
Sheet Number	Sheet Title
0.00	COVER
1.00	LAND DEVELOPMENT PLAN
1.01	EXISTING FEATURES PLAN
1.02	CONSTRUCTION IMPROVEMENT PLAN
1.03	CONSTRUCTION DETAILS - SITE
2.00	LANDSCAPING PLAN
3.00	EROSION AND SEDIMENT CONTROL PLAN
3.01	CONSTRUCTION DETAILS - E&S



PLAN REVISIONS		
NO.	REVISION DESCRIPTION	DATE
1.	PER BCPC (5/10/24) & BCDC (4/18/24) REVIEW COMMENTS	5/15/24



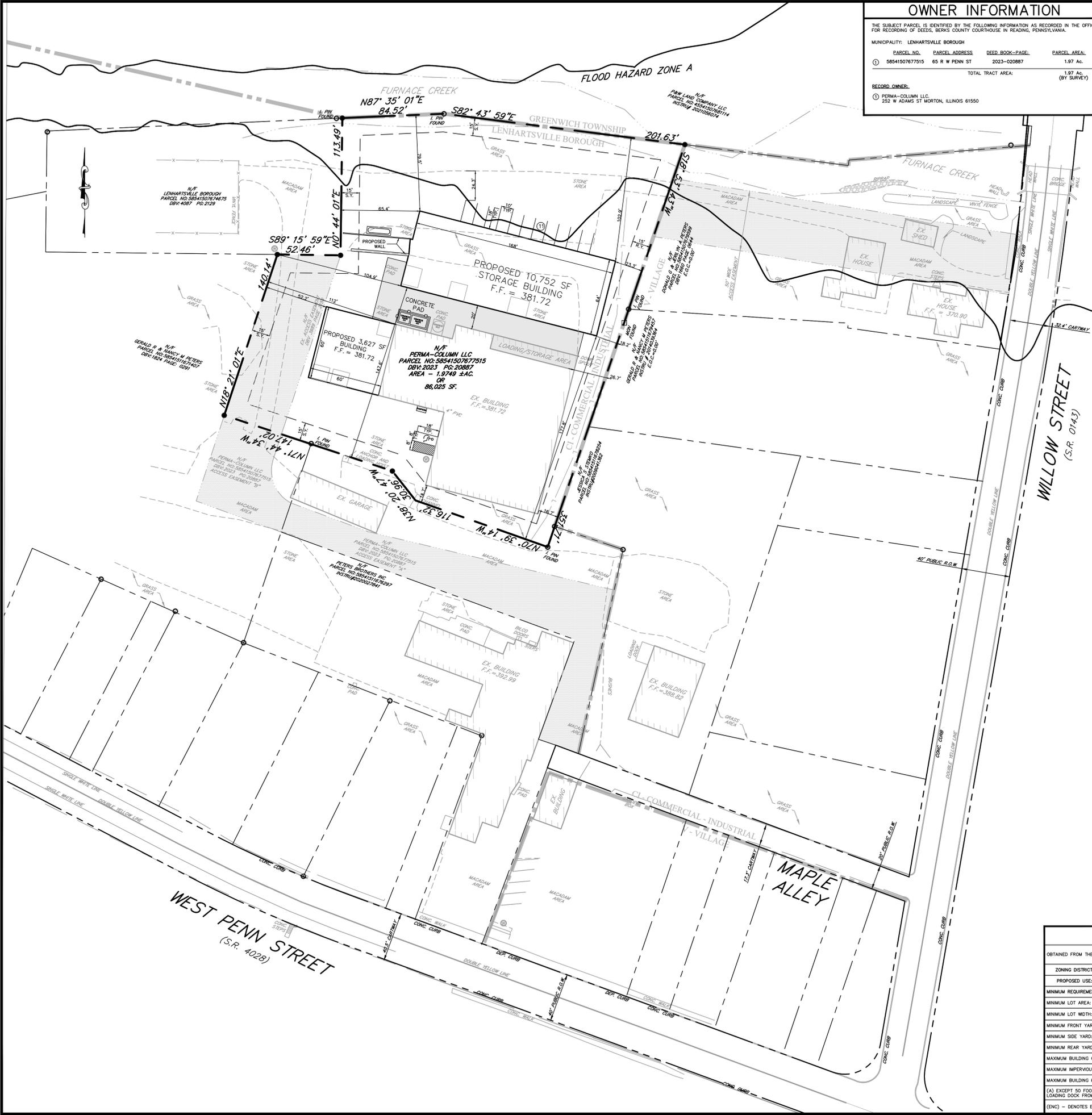
THE UNDERGROUND UTILITY LINE PROTECTION LAW
(ACT 121 AMENDS ACT 287 OF 1974)
SITE SERIAL NO. 20240361090

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 121 OF 2008, AS AMENDED BY ACT 181 OF 2009, ACT 199 OF 2009, ACT 187 OF 1996, ACT 172 OF 1996 AND ACT 287 OF 1974, CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SYSTEM, 1-800-242-1376, NO LESS THAN 3, NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

Note: These plans are not to be used for construction unless the plan contains a red stamp indicating "ISSUED FOR CONSTRUCTION" by The Crossroads Group, LLC. The Crossroads Group, LLC shall assume no liability for construction performed from plans not containing this stamp.



PERMA COLUMN LD
PERMA COLUMN LLC.
LEHNARTSVILLE BOROUGH, BERKS COUNTY, PENNSYLVANIA
PROJECT NUMBER: 5577



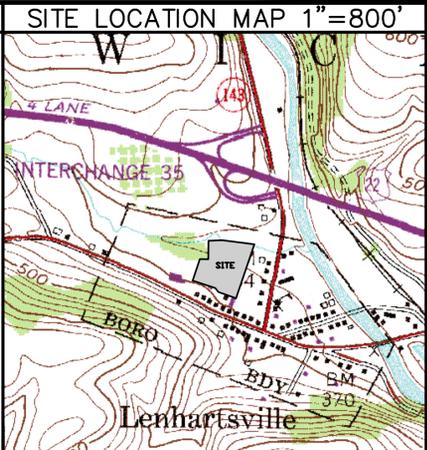
OWNER INFORMATION

THE SUBJECT PARCEL IS IDENTIFIED BY THE FOLLOWING INFORMATION AS RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, BERKS COUNTY COURTHOUSE IN READING, PENNSYLVANIA.

PARCEL NO.	PARCEL ADDRESS	DEED BOOK-PAGE	PARCEL AREA
585415077515	65 R W PENN ST	2023-02087	1.97 AC.
TOTAL TRACT AREA:			1.97 AC. (BY SURVEY)

RECORDED OWNER:
 ① PERMA-COLUMN LLC, 252 W ADAMS ST MORTON, ILLINOIS 61550

- ### RECORDING NOTES
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE ZONING ORDINANCE FOR BOROUGH OF LENHARTSVILLE & THE LAND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS OF THE COUNTY OF BERKS. THE PROPOSAL INCLUDES A 10,752 SQUARE FOOT STORAGE BUILDING AND 3,600 SQUARE FOOT MANUFACTURING FACILITY EXPANSION.
 - ALL PROPERTY CORNERS SHALL BE MARKED WITH IRON PINS UPON FINAL GRADING.
 - THE DEVELOPER, ITS SUCCESSORS OR ASSIGNS, HEREBY RESERVES THE RIGHT TO ENTER UPON EACH AND EVERY LOT AND AREA OF THE SUBDIVISION/DEVELOPMENT DEPICTED HEREON, UNTIL EXPIRATION OF THE STATUTORY MAINTENANCE PERIOD FOR DEDICATION OF PUBLIC IMPROVEMENTS AS SET FORTH IN SECTION 509 OF THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, AS AMENDED, FOR THE PURPOSE OF COMPLETING ANY LANDSCAPING AS REQUIRED BY THE MUNICIPALITY AND FURTHER, TO MAKE SUCH MODIFICATIONS IN GRADING AND/OR DRAINAGE IMPROVEMENTS ON ANY LOT AS MAY BE NECESSARY IN THE DISCRETION OF THE DEVELOPER, ITS SUCCESSORS OR ASSIGNS, AND/OR THE MUNICIPAL ENGINEER FOR SATISFACTORY STORMWATER MANAGEMENT.
 - SITE GRADING MAY WARRANT CONSTRUCTION OF RETAINING WALLS OR RETAINING STRUCTURES TO PROVIDE FOR PROPER SUPPORT AND/OR DRAINAGE FOR CERTAIN LOTS, EITHER TO THE USE AND BENEFIT OF THE LOT ON WHICH SAME MAY BE SITUATED, OR TO THE USE AND BENEFIT OF AN ADJACENT LOT. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF SUCH RETAINING WALLS OR STRUCTURES. SUCH RETAINING WALLS OR STRUCTURES SHALL NOT BE REMOVED OR ALTERED BY THE PURCHASER, HIS SUCCESSORS OR ASSIGNS, BUT SHALL REMAIN IN PLACE AND SHALL BE PROPERLY MAINTAINED BY THE OWNER OF THE LOT ON WHICH ERECTED.
 - WATER SERVICE SHALL BE PROVIDED BY AN EXISTING ON-LOT WELL.
 - SANITARY SEWER SERVICE SHALL BE PROVIDED BY THE BOROUGH OF LENHARTSVILLE.
 - NO PLANTINGS, TREES OR STRUCTURES SHALL BE PERMITTED WITHIN ANY PROPOSED EASEMENTS. EASEMENTS CROSSING LOTS SHALL BE MAINTAINED AS LOWN AREAS BY THE LOT OWNER.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH PENNDOT SPECIFICATIONS, PUBLICATION 408 STANDARDS AND LENHARTSVILLE BOROUGH STANDARD SPECIFICATIONS, AS APPLICABLE.
 - THIS PLAN CONTAINS PRELIMINARY INFORMATION PERTAINING TO UNDERGROUND UTILITIES WHICH IS FOR GENERAL INFORMATION ONLY, AND MAY NOT BE BASED ON AN ACTUAL SUBSURFACE LOCATION SURVEY. ALL SUBSURFACE INFORMATION SHOWN ON THESE PLANS NEEDS TO BE VERIFIED BY THE PLAN USER. THE PREPARER OF THIS PLAN ASSUMES NO RESPONSIBILITY FOR AND MAKES NO REPRESENTATION OR WARRANTIES AS TO THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES OR OTHER UNDERGROUND FEATURES. THE PLAN USER SHALL EXECUTE A PA ONE CALL PRIOR TO ANY EXCAVATION ON THE SITE.
 - THE IMPROVEMENTS SHOWN ON THIS PLAN CREATE A DE MINIMIS INCREASE (LESS THAN ONE CUBIC FOOT PER SECOND) IN STORMWATER FLOWS WHEN COMPARED TO THE PRE-DEVELOPMENT CONDITION. IT IS NOT BELIEVED THAT THIS INCREASE WILL HAVE A NEGATIVE IMPACT ON NEIGHBORING PROPERTIES OR THE FURNACE CREEK.
 - DOMESTIC WASTE PITS ARE TO BE COLLECTED ONSITE IN THE DUMPSTER AS SHOWN ON THE PLAN. THE DUMPSTER SHALL BE EMPTIED WEEKLY BY A WASTE COLLECTION SERVICE.
 - CONCRETE WASTE PITS ARE TO BE EMPTIED MONTHLY & WASTES DISPOSED OF PROPERLY PER THE CURRENT PLAN IN PLACE FOR THE SITE.
 - THE OWNER AGREES TO PAY ALL INSPECTION FEES REQUIRED BY THE BOROUGH AND ALL IMPROVEMENTS WILL BE CONSTRUCTED AND INSPECTED PER THE APPROVED LAND DEVELOPMENT PLAN, PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT FOR THE PROPOSED IMPROVEMENTS.



- ### SURVEY NOTES
- BOUNDARY SURVEY SHOWN HEREIN WAS PERFORMED BY THE CROSSROADS GROUP, LLC, FEBRUARY 2024 UTILIZING AVAILABLE DEEDS AND PLANS OF RECORDS.
 - EXISTING TOPOGRAPHY INFORMATION SHOWN HEREIN WAS TAKEN FROM AN ACTUAL GROUND SURVEY PERFORMED BY THE CROSSROADS GROUP, LLC, IN FEBRUARY 2024.
 - THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND EXISTING UNRECORDED EASEMENTS MAY EXIST.
 - DATUMS:
 HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD83) STATE PLANE COORDINATE (SOUTH ZONE) ESTABLISHED BY UTILIZING KENNET NETWORK.
 VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)
 - THERE ARE WETLANDS OR WATERS OF THE COMMONWEALTH LOCATED ON THE SITE AS PER A NATIONAL WETLANDS INVENTORY ON JANUARY 26, 2024.
 - REFERENCE PLANS:
 SKETCH PLAN OF RECORD FOR BERKS COUNTY COMMISSIONERS, PREPARED BY STECKBECK ENGINEERING & SURVEYING INC, DATED APRIL 26, 2003 RECORDED AS PLAN BOOK 299B PAGE 69.
 SUBDIVISION PLAN FOR BERKS COUNTY COMMISSIONERS, PREPARED BY STECKBECK ENGINEERING & SURVEYING INC, DATED OCTOBER 01, 2008 RECORDED AS PLAN BOOK 307 PAGE 464.
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT ARE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES BEFORE ANY EXCAVATION BEGINS.
 - LIMITS OF THE 100-YEAR FLOODPLAIN HAVE BEEN GRAPHICALLY LOCATED FROM FEMA NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP 42011C0159G, EFFECTIVE 7/3/2012.

LEGEND

---	BOUNDARY
---	TRACT LINES
---	EXISTING RIGHT-OF-WAY
---	EXISTING EASEMENT
---	ADJOINING PROPERTY LINE
---	EXISTING ZONING/TOWNSHIP BOUNDARY
---	EXISTING STORM SEWER LINE/INLET
---	EXISTING ELECTRIC LINE (UNDERGROUND)
---	EXISTING ELECTRIC LINE (OVERHEAD)
---	EXISTING SANITARY SEWER LINE/MANHOLE
---	EXISTING SANITARY LATERAL (UG)
---	EXISTING CURB
---	EXISTING EDGE OF ROAD (PAVED)
---	EXISTING EDGE OF ROAD (UNPAVED)
---	EXISTING DRIVEWAY
---	EXISTING ROAD CENTERLINE
---	EXISTING FENCE
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	SOILS DELINEATION LINE
---	STREAM CHANNEL
---	FEMA DELINEATED FLOODPLAIN
---	EXISTING BRUSHLINE
---	EXISTING BUILDINGS
---	EXISTING SIGN
---	EXISTING WELL
---	GUY
---	EXISTING UTILITY-POLE
---	EXISTING MONUMENTATION
---	MONUMENT
---	PROPOSED BUILDING
---	PROPOSED BUILDING - SETBACK LINE
---	PROPOSED SEWER LATERAL
---	PROPOSED STORM SEWER - PIPING
---	PROPOSED WATER LATERAL
---	PROPOSED CURBLINE
---	PROPOSED DRIVEWAY
---	PROPOSED GARAGE
---	PROPOSED CONCRETE
---	PROPOSED CONTOUR
---	PROPOSED CONTOUR INDEX
---	PROPOSED CONCRETE

PARKING DATA

OBTAINED FROM THE LENHARTSVILLE BOROUGH ZONING ORDINANCE, ARTICLE 6

INDUSTRIAL USES
1 SPACE PER 1.2 EMPLOYEES ON SITE AT PEAK TIMES
1 VISITOR SPACE PER EVERY 10 MANAGERS ON SITE
TWELVE (12) EMPLOYEES (INCLUDING ONE (1) MANAGER) = TEN (10) EMPLOYEE SPACES
ONE (1) MANAGER = ONE (1) VISITOR SPACES
TOTAL SPACES REQUIRED = ELEVEN (11) SPACES (1 ADA SPACE)
TOTAL SPACES PROVIDED = TWELVE (12) SPACES (1 ADA SPACE)

ALL STANDARD PARKING STALLS AND TRAFFIC ARROWS ARE TO BE DELINEATED WITH WHITE PAINT. ALL ADA PARKING SPACES, INCLUDING SYMBOLS AND ACCESS AISLE STRIPING, ARE TO BE DELINEATED WITH BLUE PAINT.

ZONING DATA

OBTAINED FROM THE LENHARTSVILLE ZONING ORDINANCE, ORDINANCE 01-00, DATED MARCH 8, 2000

ZONING DISTRICT:	CI- COMMERCIAL-INDUSTRIAL		
PROPOSED USE:	CONCRETE & CEMENT PRODUCTS, OTHER THAN MANUFACTURE OF CEMENT		
MINIMUM REQUIREMENTS	PERMITTED	EXISTING	PROPOSED
MINIMUM LOT AREA:	1 AC.	1.97 AC.	1.97 AC
MINIMUM LOT WIDTH:	120 FT.	N/A	N/A
MINIMUM FRONT YARD:	15 FT. (A)	112 FT	52.2 FT
MINIMUM SIDE YARD:	15 FT. (A)	14.7' (ENC)	14.7' (ENC)
MINIMUM REAR YARD:	15 FT. (A)	16.7'	16.7'
MAXIMUM BUILDING COVERAGE:	60%	16.7%	30.9%
MAXIMUM IMPERVIOUS COVERAGE:	80%	67.3%	74.5%
MAXIMUM BUILDING HEIGHT:	3.5 STORIES OR 40'	> 40'	> 40'

(A) EXCEPT 50 FOOT WIDE MINIMUM SETBACK FOR ANY NEW OR EXPANDED PORTION OF AN INDUSTRIAL BUILDING OR TRUCK LOADING DOCK FROM THE LOT LINE OF A PRINCIPAL RESIDENTIAL USE.

(ENC) - DENOTES EXISTING NON-CONFORMITY

RECORDING ACKNOWLEDGMENTS

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BERKS

ON THIS, _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE SUBDIVISION PLAN THEREOF WAS MADE AT HIS/ITS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS/ITS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

PROPERTY OWNER NAME: _____
 PROPERTY OWNER TITLE: _____

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
 MY COMMISSION EXPIRES _____

AT A MEETING HELD ON _____, 20____, THE BOROUGH COUNCIL OF THE BOROUGH OF LENHARTSVILLE, BY RESOLUTION, DULY ENACTED, APPROVED THE LAND DEVELOPMENT OF THE PROPERTY OF PERMA COLUMN, LLC AS SHOWN HEREON.

SURVEYOR'S CERTIFICATE

I, RODNEY SERENIT, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY/OR FOR ME, AND THAT ALL PROPERTY MONUMENTATION/IRON PINS SHOWN ON THE PLAN ACTUALLY EXIST OR WILL BE SET IN THE FIELD.

(SURVEYOR)
 S0058993
 (REGISTRATION NO.)

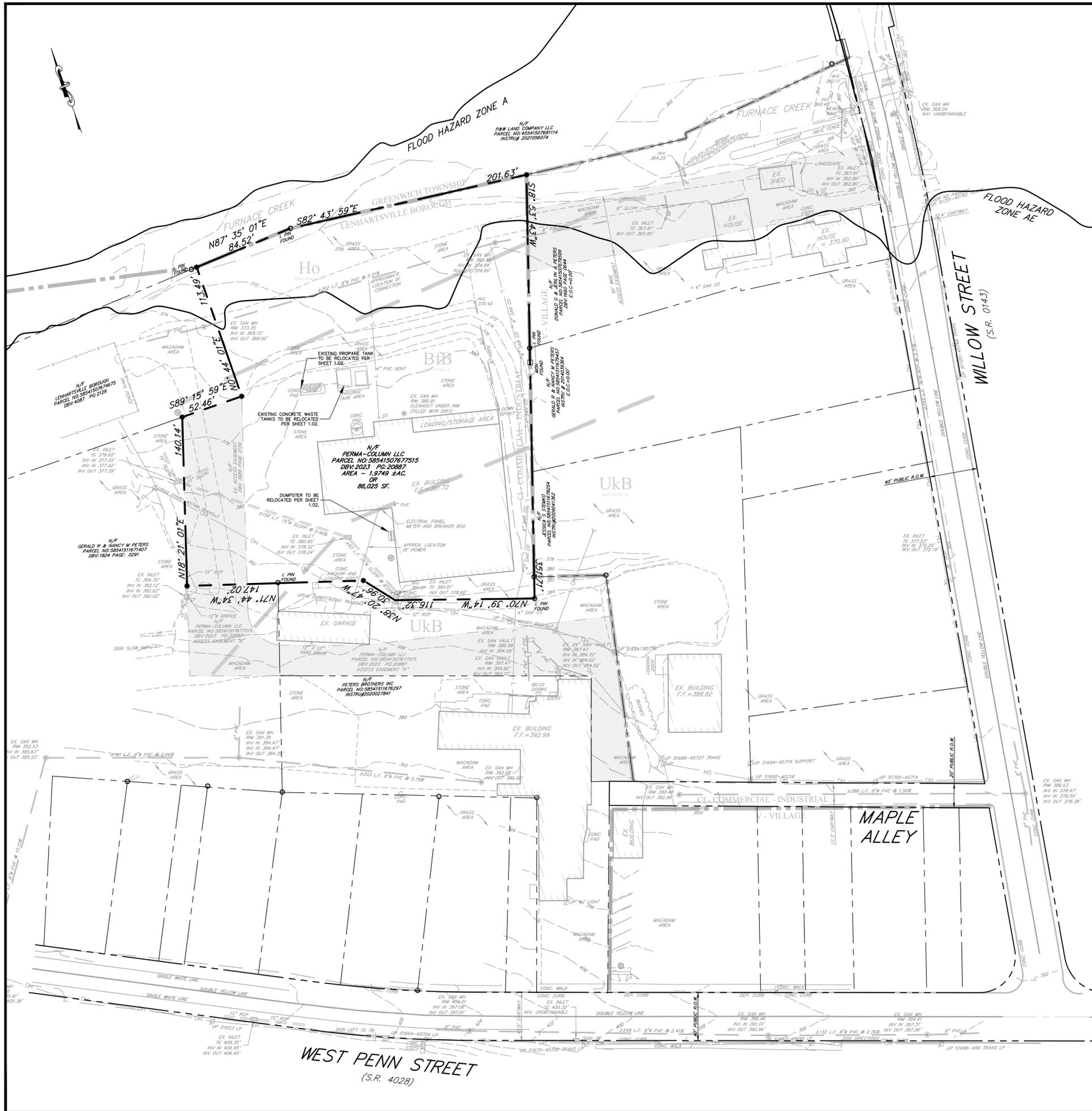
(DATE)

BERKS COUNTY PLANNING COMMISSION

PROJECT MANAGER: LAK
 DRAWING FILE NAME: ZLD
 PLAN ORIGINATION DATE: 3-22-24
 PLAN LAST REVISED: 5-15-24
 PLAN SCALE: 1" = 40'
 PROJECT NUMBER: 5577
 SHEET NUMBER: 1.00 OF 7

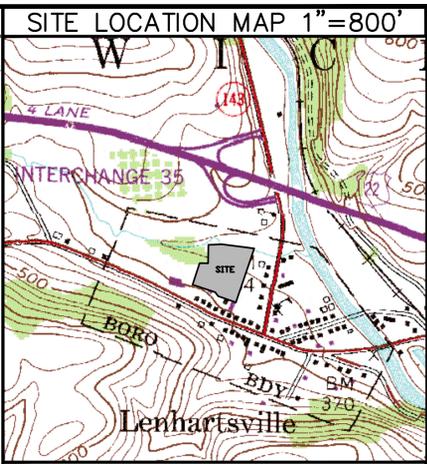
ENGINEER'S CERTIFICATION
 SURVEYOR'S CERTIFICATION
 PROJECT MANAGER: LAK
 DRAWING FILE NAME: ZLD
 PLAN ORIGINATION DATE: 3-22-24
 PLAN LAST REVISED: 5-15-24
 PLAN SCALE: 1" = 40'
 PROJECT NUMBER: 5577
 SHEET NUMBER: 1.00 OF 7

THE CROSSROADS GROUP, LLC
 www.thecrossroadsgr.com
 769 Stas Street
 Hamburg, PA 15886
 Phone: 814-860-3742
 Fax: 814-860-3742
 E-mail: info@thecrossroadsgr.com
 CIVIL ENGINEERING & LAND DEVELOPMENT & SITE SURVEY & E-LETTOR



LEGEND

	BOUNDARY
	TRACT LINES (WITHIN OVERALL SUBJECT PARCEL)
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT
	ADJOINING PROPERTY LINE
	EXISTING ZONING/TOWNSHIP BOUNDARY
	EXISTING STORM SEWER LINE/INLET
	EXISTING ELECTRIC LINE (UNDERGROUND)
	EXISTING ELECTRIC LINE (OVERHEAD)
	EXISTING SANITARY SEWER LINE/MANHOLE
	EXISTING SANITARY LATERAL (UG)
	EXISTING CURB
	EXISTING EDGE OF ROAD (PAVED)
	EXISTING EDGE OF ROAD (UNPAVED)
	EXISTING DRIVEWAY
	EXISTING ROAD CENTERLINE
	EXISTING FENCE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	SOILS DELINEATION LINE
	STREAM CHANNEL
	FEMA DELINEATED FLOODPLAIN
	EXISTING BRUSHLINE
	EXISTING BUILDINGS
	EXISTING UTILITY-POLE
	EXISTING MONUMENTATION
	MONUMENT
	EXISTING SIGN
	EXISTING WELL
	BOUNDARY CORNER
	GUY



OWNER INFORMATION

THE SUBJECT PARCEL IS IDENTIFIED BY THE FOLLOWING INFORMATION AS RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, BERKS COUNTY COURTHOUSE IN READING, PENNSYLVANIA.

MUNICIPALITY:	PARCEL NO.	PARCEL ADDRESS	DEED BOOK-PAGE:	PARCEL AREA:
LENHARTSVILLE BOROUGH	58541507677515	65 R W PENN ST	2023-020887	1.97 Ac.
TOTAL TRACT AREA:				1.97 Ac. (BY SURVEY)

RECORD OWNER:
 PERMA-COLUMN LLC
 252 W ADAMS ST MORTON, ILLINOIS 61550

- ### SURVEY NOTES
- BOUNDARY SURVEY SHOWN HEREIN WAS PERFORMED BY THE CROSSROADS GROUP, LLC, FEBRUARY 2024 UTILIZING AVAILABLE DEEDS AND PLANS OF RECORDS.
 - EXISTING TOPOGRAPHY INFORMATION SHOWN HEREIN WAS TAKEN FROM AN ACTUAL GROUND SURVEY PERFORMED BY THE CROSSROADS GROUP, LLC IN FEBRUARY 2024.
 - THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND EXISTING UNRECORDED EASEMENTS MAY EXIST.
 - DATUMS:
 HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD83) STATE PLANE COORDINATES (SOUTH ZONE) ESTABLISHED BY UTILIZING KEYNET NETWORK.
 VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVDS88)
 - THERE ARE WETLANDS OR WATERS OF THE COMMONWEALTH LOCATED ON THE SITE AS PER A NATIONAL WETLANDS INVENTORY ON JANUARY 26, 2024.
 - REFERENCE PLANS:
 SKETCH PLAN OF RECORD FOR BERKS COUNTY COMMISSIONERS, PREPARED BY STECKBECK ENGINEERING & SURVEYING INC, DATED APRIL 28, 2003 RECORDED AS PLAN BOOK 269 PAGE 69.
 SUBDIVISION PLAN FOR BERKS COUNTY COMMISSIONERS, PREPARED BY STECKBECK ENGINEERING & SURVEYING INC, DATED OCTOBER 01, 2008 RECORDED AS PLAN BOOK 307 PAGE 464.
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT ARE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES BEFORE ANY EXCAVATION BEGINS.
 - LIMITS OF THE 100-YEAR FLOODPLAIN HAVE BEEN GRAPHICALLY LOCATED FROM FEMA NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP 4201C0159S, EFFECTIVE 7/3/2012.

SOILS DATA

SOILS DATA OBTAINED FROM A SOIL SURVEY OF BERKS COUNTY, PENNSYLVANIA, ISSUED JANUARY 26, 2024.

B8B - BEDFORD-BERKS COMPLEX, 3 TO 8 PERCENT SLOPES
 LIMITATIONS - CUTBANKS CAVE, CORROSIVE TO CONCRETE, DROUGHTY, EASILY ERODIBLE, HYDRO/HYDRIC INCLUSIONS, SLOW PERCOLATION, POOR SOURCE OF TOPSOIL, FROST ACTION, PIPING

H6 - HOLLY SILT LOAM, 3 TO 8 PERCENT SLOPES
 LIMITATIONS - CUTBANKS CAVE, CORROSIVE TO CONCRETE/STEEL, FLOODING, DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE, HYDRO/HYDRIC INCLUSIONS, LOW STRENGTH/LANDSLIDE PRONE, SLOW PERCOLATION, POOR SOURCE OF TOPSOIL, FROST ACTION, PIPING, PONDING, WETNESS

U4B - URBAN LAND-BERKS COMPLEX, 0 TO 8 PERCENT SLOPES
 LIMITATIONS - CUTBANKS CAVE, CORROSIVE TO CONCRETE, DROUGHTY, EASILY ERODIBLE, DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE, HYDRO/HYDRIC INCLUSIONS, SLOW PERCOLATION, POOR SOURCE OF TOPSOIL, PIPING

RESOLUTIONS

CORROSION OF CONCRETE/STEEL - CONCRETE/STEEL MAY NEED TO BE WRAPPED IN CORROSION RESISTANT MATERIAL

DEPTH TO SATURATED ZONE/WATER TABLE - U-DRAIN MAY BE REQUIRED FOR ANY SPRINGS ENCOUNTERED. PUMPED WATER FILTER BAG MAY BE NEEDED DURING EXCAVATIONS.

PIPING - SOIL MAY NOT BE SUITABLE FOR BASIN BERM CONSTRUCTION. CLAY MATERIAL MAY NEED TO BE BORROWED FROM ELSEWHERE ON SITE (OR TRENCH PLUGS)

LOW STRENGTH - LAYBACK SLOPES/DESIGN FOR CONDITIONS

HIGH EROSION POTENTIAL - MAINTAIN EROSION CONTROL BMPs

CUTBANK CAVE - LAYBACK SLOPES

FLOODING - AVOID WORK IN FLOOD AREAS

HYDRIC INCLUSIONS - AVOIDANCE, PUMPED WATER FILTER BAG, TRENCH PLUGS

SLOW PERCOLATION - DRAINAGE DITCH, PUMPED WATER FILTER BAG

POOR SOURCE OF TOPSOIL - AVOID REUSE AS TOPSOIL OR AMEND AS NECESSARY

FROST ACTION - CONSTRUCT BELOW FROST DEPTHS/POSITIVE SUBGRADES

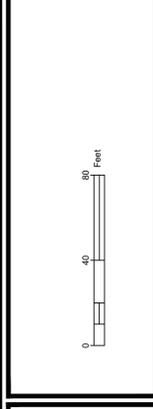
WETNESS - UTILIZE GOOD WEATHER/TEMPORARY DRAIN TILE

PONDING - PROVIDE POSITIVE DRAINAGE

ACT 121 NOTIFICATION

THE UNDERGROUND UTILITY LINE PROTECTION LAW (ACT 121 AND/OR ACT 287 OF 1974) SITE SERIAL NO. 20240361090

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 121 OF 2004, AS AMENDED BY ACT 187 OF 2006, ACT 198 OF 2004, ACT 187 OF 1996, ACT 172 OF 1986 AND ACT 287 OF 1974, CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SYSTEM, 1-800-942-1176, NO LESS THAN 3, NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.



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 www.thecrossroadsgroup.com
 769 State Street
 Hamburg, PA 15506
 Phone: 484-660-3742
 Fax: 484-660-3742
 E-mail: info@crossroads.com
 PROJECT MANAGER: LAK
 DRAWING FILE NAME: XFPL
 PLAN ORIGINATION DATE: 3-22-24
 PLAN LAST REVISED: 5-15-24
 PLAN SCALE: 1" = 40'
 PROJECT NUMBER: 5577
 SHEET NUMBER: 1.01 OF 7

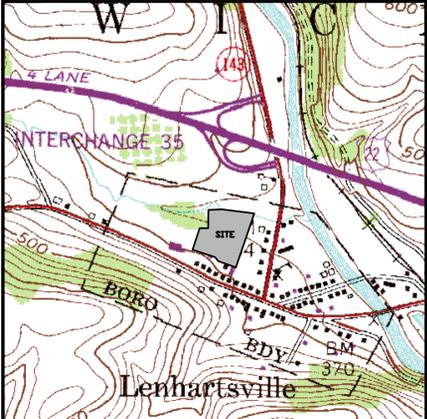
EXISTING FEATURES PLAN
 PREPARED FOR:
PERMA COLUMN LD
PERMA COLUMN LLC.
 SITE: BIRTHDAY
 LEHARTSVILLE BOROUGH, BERKS COUNTY, PENNSYLVANIA

PROJECT MANAGER: LAK
 DRAWING FILE NAME: XFPL
 PLAN ORIGINATION DATE: 3-22-24
 PLAN LAST REVISED: 5-15-24
 PLAN SCALE: 1" = 40'
 PROJECT NUMBER: 5577
 SHEET NUMBER: 1.01 OF 7

LEGEND

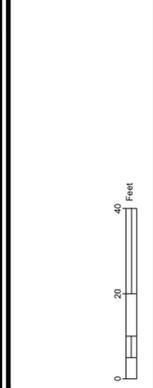
Table with 2 columns: Symbol and Description. Includes Boundary, Tract Lines, Existing Right-of-Way, Existing Easement, Adjoining Property Line, Existing Zoning/Township Boundary, Existing Storm Sewer Line/Inlet, Existing Electric Line (Underground), Existing Electric Line (Overhead), Existing Sanitary Sewer Line/Main/Manhole, Existing Sanitary Lateral (UG), Existing Curb, Existing Edge of Road (Paved), Existing Edge of Road (Unpaved), Existing Driveway, Existing Road Centerline, Existing Fence, Existing Contour, Existing Index Contour, Soils Delineation Line, Stream Channel, FEMA Delineated Floodplain, Existing Brushline, Existing Buildings, Existing Utility-Pole, Existing Monumentation, Monument, Proposed Building, Proposed Building - Setback Line, Proposed Sewer Lateral, Proposed Storm Sewer - Piping, Proposed Water Lateral, Proposed Underground Power, Proposed Curbside, Proposed Driveway, Proposed Garage, Proposed Concrete, Proposed Contour, Proposed Contour Index.

SITE LOCATION MAP 1"=800'

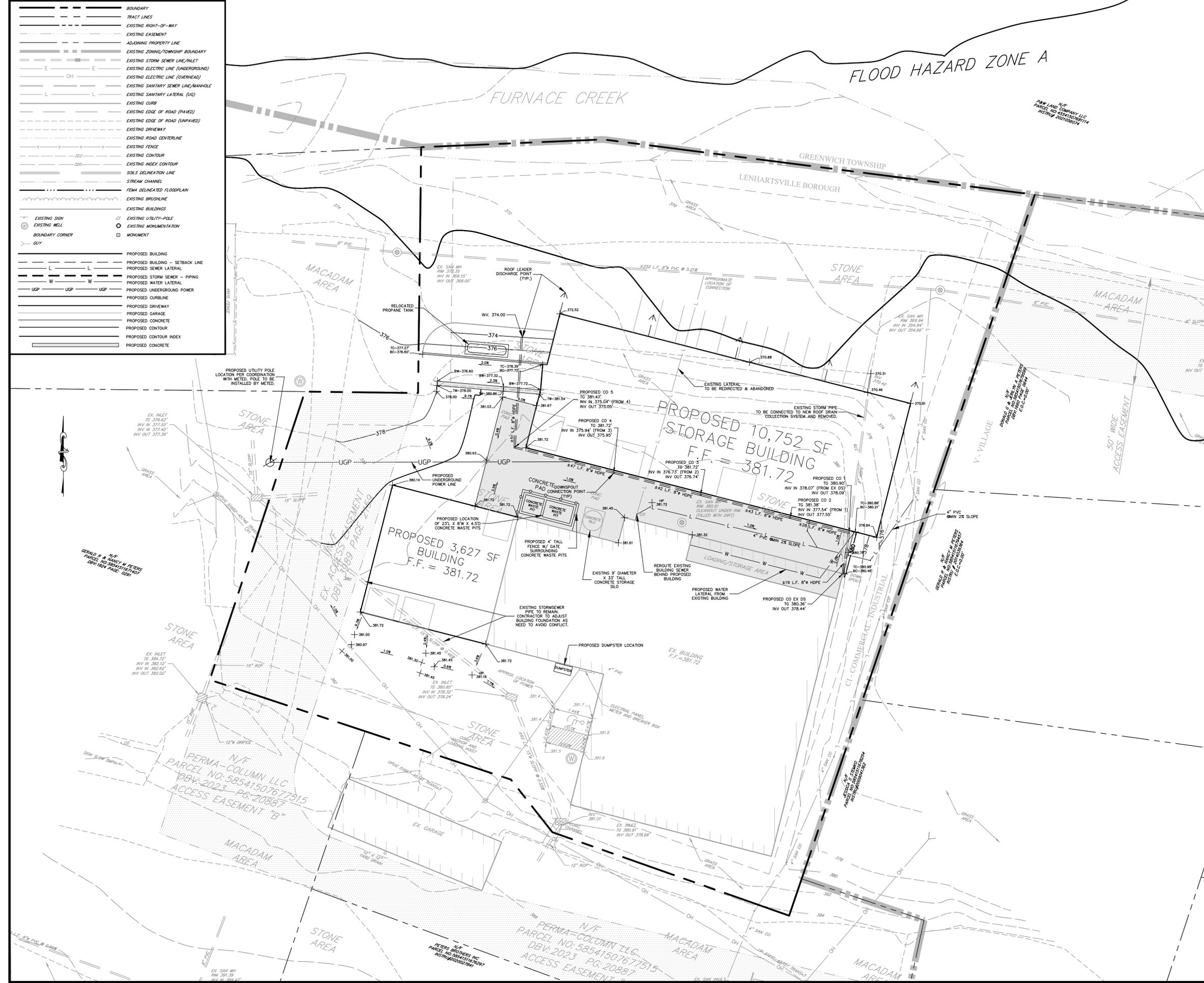


CONSTRUCTION NOTES

- STORM SEWER
1. UNLESS OTHERWISE NOTED, ALL STORM SEWER PIPING SHALL BE HDPE PIPE AND SHALL CONFORM TO PENNDOT PUBLICATION 408 (LATEST EDITION).
2. ALL STORM SEWER LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE SLOPES ARE CALCULATED BASED ON THIS LENGTH.
3. ALL LOTS SHALL BE PROPERLY GRADED TO ENSURE PROPER DRAINAGE AWAY FROM HOUSES TO THE NEAREST INLET OR WATERCOURSE WITHOUT POONING OR OBSTRUCTION. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED ON ALL GRASSED AREAS.
SANITARY SEWER:
1. ALL MATERIALS AND DETAILS OF CONSTRUCTIONS, INSTALLATION PROCEDURES, AND REQUIREMENTS WITH RESPECT TO SANITARY SEWER FACILITIES SHALL BE IN ACCORDANCE WITH THE LENHARTSVILLE BOROUGH STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS (LATEST EDITION).
2. AN 18-INCH VERTICAL CLEARANCE OR A 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER MAINS. WHERE IMPOSSIBLE TO MAINTAIN A 10-FOOT HORIZONTAL CLEARANCE, AN 18-INCH VERTICAL CLEARANCE MUST BE MAINTAINED.
3. LATERALS SHALL BE 4" DIA. P.V.C. SDR-35 PIPE AND SHALL EXTEND FIVE (5) FEET BEYOND THE RIGHT-OF-WAY (OR EASEMENT, WHERE APPLICABLE) AND SHALL BE CAPPED. ALL SANITARY SEWER LATERALS SHALL BE LAID ON A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT WITH A MINIMUM COVER OF 48 INCHES.
4. ALL SANITARY SEWER LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE SLOPES ARE CALCULATED BASED ON THIS LENGTH.
5. GRAVITY SANITARY SEWER SERVICE WILL BE PROVIDED TO THE FIRST FLOOR ELEVATION OF EACH DWELLING. BASEMENT SANITARY SEWER SERVICE WILL NOT BE PROVIDED UNLESS OTHERWISE NOTED.
6. ALL CONCRETE ENCASUREMENT SHALL BE SHOWN ON THE DRAWINGS AND NO OTHER ENCASUREMENT SHALL BE INSTALLED WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AS WELL AS WRITTEN APPROVAL OF THE AUTHORITY ENGINEER. ALL ENCASEMENTS SHALL EXTEND TO THE NEXT JOINT BEYOND THE MINIMUM DISTANCE REQUIREMENT.
7. A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL CLEARANCE IS REQUIRED BETWEEN ALL UTILITIES AND THE SANITARY SEWER LINES. THIS INCLUDES STREET LATERALS.
8. NO TREE OR BUSH SHALL BE PLACED WITHIN 10 FEET OF A SANITARY SEWER MAIN OR LATERAL.
GENERAL CONSTRUCTION:
1. THIS PLAN CONTAINS PRELIMINARY INFORMATION PERTAINING TO UNDERGROUND UTILITIES WHICH IS FOR GENERAL INFORMATION ONLY, AND MAY NOT BE BASED ON AN ACTUAL SUBSURFACE LOCATION SURVEY. ALL SUBSURFACE INFORMATION SHOWN ON THESE PLANS NEEDS TO BE VERIFIED BY THE PLAN USER. THE PREPARER OF THIS PLAN ASSUMES NO RESPONSIBILITY FOR AND MAKES NO REPRESENTATION OR WARRANTIES AS TO THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES OR OTHER UNDERGROUND FEATURES. THE PLAN USER SHALL EXECUTE A P.A. ONE CALL PRIOR TO ANY EXCAVATION ON THE SITE.
2. A MINIMUM VERTICAL CLEARANCE OF 18 INCHES SHALL BE PROVIDED AT ALL UTILITY CROSSINGS. WHERE 18 INCHES OF CLEARANCE CANNOT BE OBTAINED, THE LOWER UTILITY LINE SHALL BE CONCRETE ENCASED FOR A LENGTH OF 20 FEET, CENTERED ABOUT THE CROSSING.
3. ALL CONSTRUCTION SHALL CONFORM TO LENHARTSVILLE BOROUGH/BERKS COUNTY STANDARDS AND SPECIFICATIONS OR PENNDOT PUBLICATION 408 (LATEST EDITION), WHICHEVER IS APPLICABLE.
4. GAS, ELECTRIC AND CABLE TELEVISION FACILITIES FOR ALL LOTS SHALL BE PROVIDED BY UNDERGROUND SERVICE.
5. HANDICAPPED RAMPS SHALL BE LOCATED AT ALL INTERSECTIONS OR WHERE OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS LATEST AMENDED.
6. TOPSOIL SHOULD BE REMOVED FROM ALL AREAS OF CONSTRUCTION AND STORED SEPARATELY. PRIOR TO BULK EXCAVATION, UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHOULD BE REDISTRIBUTED ON THE SITE UNIFORMLY.
7. NO PLANTINGS OR STRUCTURES SHALL BE PERMITTED WITHIN ANY EASEMENTS. ALL EASEMENT AREAS SHALL BE MAINTAINED AS LAWN AREA BY THE PROPERTY OWNER.
8. BASEMENTS ARE PROPOSED FOR ALL UNITS. NO SUMP PUMPS SHALL DISCHARGE DIRECTLY ONTO DRIVEWAYS, SIDEWALKS, STREETS OR INTO THE SANITARY SEWER COLLECTION SYSTEM. ANY WATER ORIGINATING FROM SUMP PUMPS AND ROOF DRAINS SHALL BE COLLECTED AND DISCHARGED EITHER INTO THE PROPOSED STORM SEWER SYSTEM OR TO THE REAR YARD OF THE DWELLING (WITH APPROPRIATE OVERLAND DRAINAGE).
9. ALL CONTRACTORS SHALL BE RESPONSIBLE TO INSURE THAT ALL TRENCH EXCAVATIONS BE ADEQUATELY STABILIZED AND ACCESSED IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS, INCLUDING ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS' CODES OF SAFE PRACTICE AND PROCEDURES.
10. CONTRACTOR SHALL PRE-TEST DESIGN DEPTHS FOR ALL BMP'S PRIOR TO INSTALLING RELATED STRUCTURES OR PERFORMING BULK EXCAVATION (REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN FOR ALL BMP AND ASSOCIATED STRUCTURE LOCATIONS). MINOR ADJUSTMENTS MAY BE NECESSARY DURING CONSTRUCTION DUE TO UNKNOWN SITE CONDITIONS. IF NECESSARY, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY FOR FURTHER EVALUATION. ALL FIELD CHANGES MUST BE REVIEWED AND APPROVED BY THE MUNICIPALITY AND/OR AGENCY HAVING JURISDICTION.
11. ALL MATERIALS AND DEBRIS FROM DEMOLITION ACTIVITY SHALL BE HAILED OFFSITE TO AN APPROVED LANDFILL. ALL RELATED APPROVALS AND HAULING PERMITS SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. NO DEBRIS SHALL BE INCERATED, BURIED OR DISPOSED OF ON SITE.
12. ANY SPRINGS/GROUND WATER ENCOUNTERED DURING ROADWAY/PARKING LOT CONSTRUCTION SHALL BE OULLETED BY U-DRAIN TO THE NEAREST STORM SEWER FACILITY OR WATERCOURSE. U-DRAIN PLACEMENT MUST BE REVIEWED AND APPROVED BY THE TOWNSHIP/BOROUGH PRIOR TO INSTALLATION AND/OR AS DIRECTED BY THE TOWNSHIP/BOROUGH ENGINEER OR ASSIGNED REPRESENTATIVE.

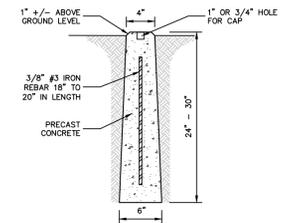
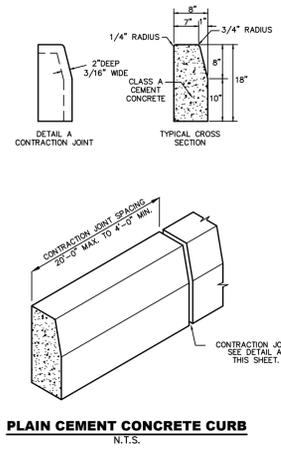
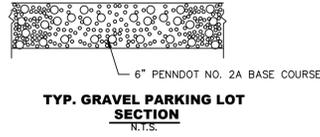
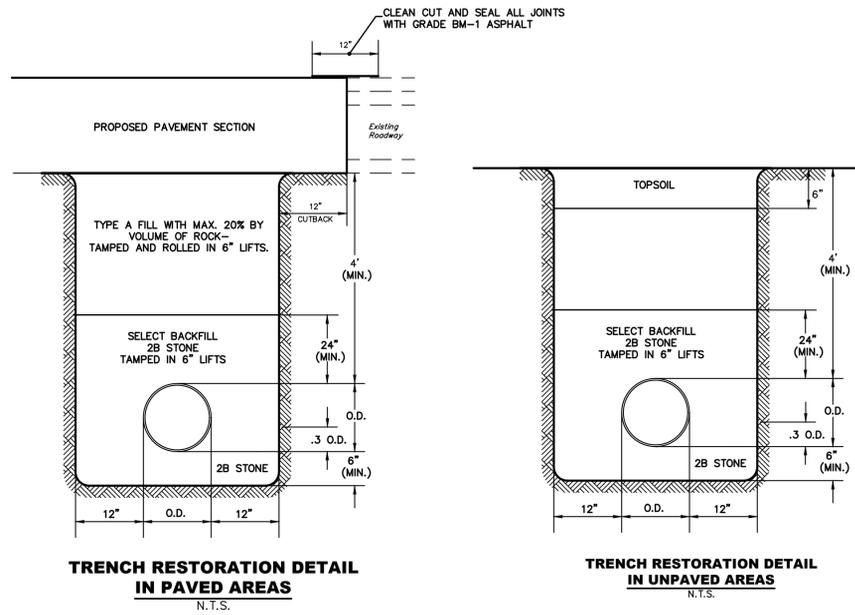


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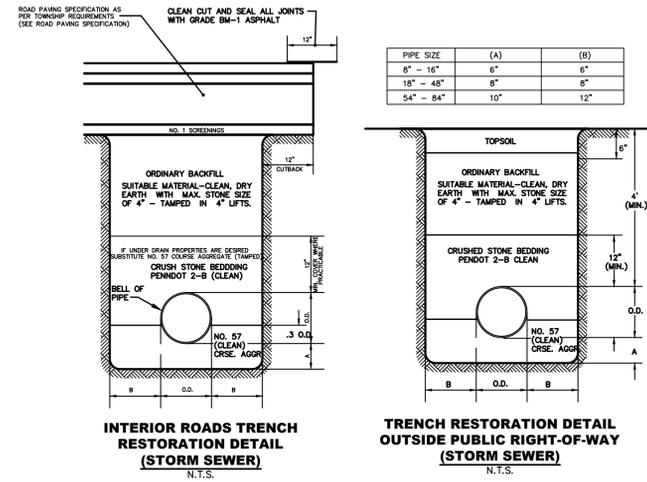
CONSTRUCTION IMPROVEMENT PLAN
PREPARED AS PART OF THE
PERMA COLUMN LD
PREPARED FOR
PERMA COLUMN LLC.
SITE BIRTHDAY
LEHARTSVILLE BOROUGH, BERKS COUNTY, PENNSYLVANIA

Table with 2 columns: Field and Value. Includes Project Manager (LAK), Drawing File Name (ZCI-STORM), Plan Origination Date (3-22-24), Plan Last Revised (5-15-24), Plan Scale (1" = 20'), Project Number (5577), and Sheet Number (1.02 OF 7).



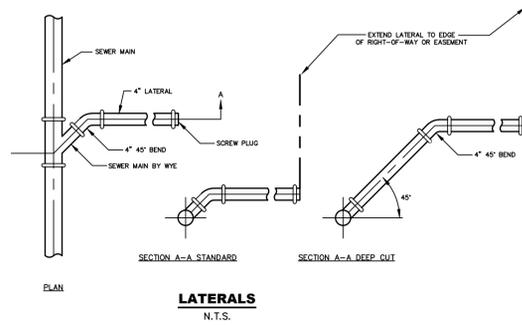
- IN AREAS WHERE ENVIRONMENTAL/PHYSICAL RESTRAINTS ARE ENCOUNTERED, AND AT THE LICENSED SURVEYORS DISCRETION:
1. IRON PINS MAY BE SET IN AREAS OF HARDENED SURFACE (PRIVATE DRIVEWAYS/BERKSHIRE, ETC.) IN LIEU OF CONCRETE MONUMENTS.
 2. PK NAILS, CHISEL MARKS OR ALTERNATE MONUMENTATION MAY BE USED IN OR ALONG PUBLIC LANDS (ROADS/FLOODPLAINS, ETC.) WHERE PRACTICABLE.

CONCRETE MONUMENT DETAIL
N.T.S.

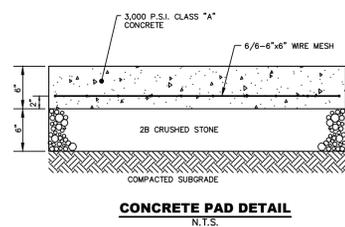


INTERIOR ROADS TRENCH RESTORATION DETAIL (STORM SEWER)
N.T.S.

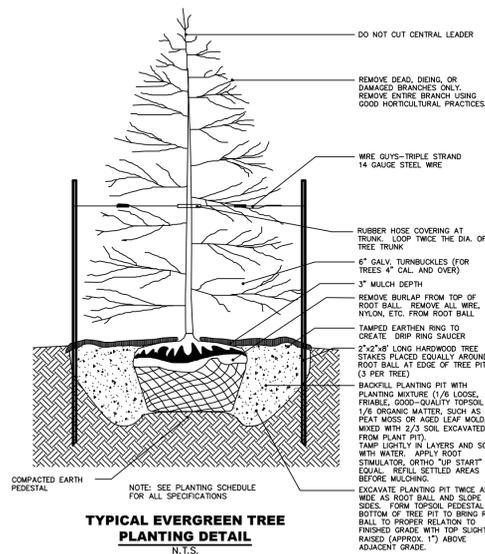
TRENCH RESTORATION DETAIL OUTSIDE PUBLIC RIGHT-OF-WAY (STORM SEWER)
N.T.S.



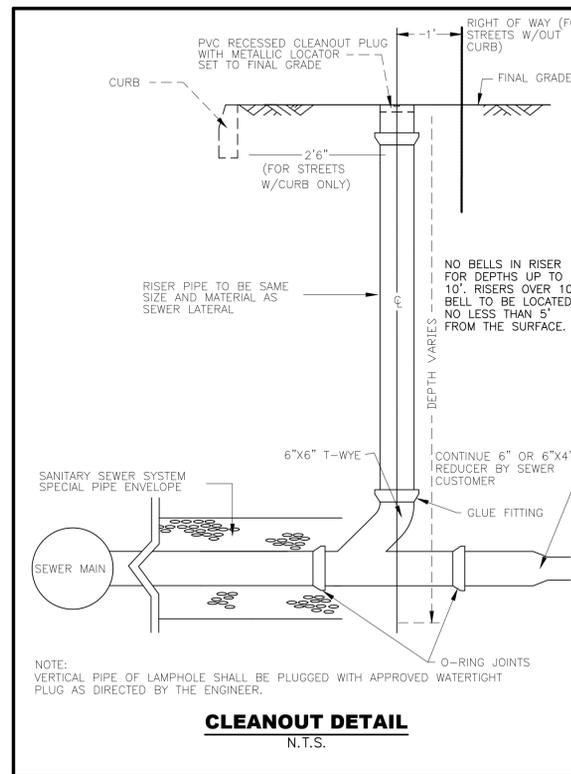
LATERALS
N.T.S.



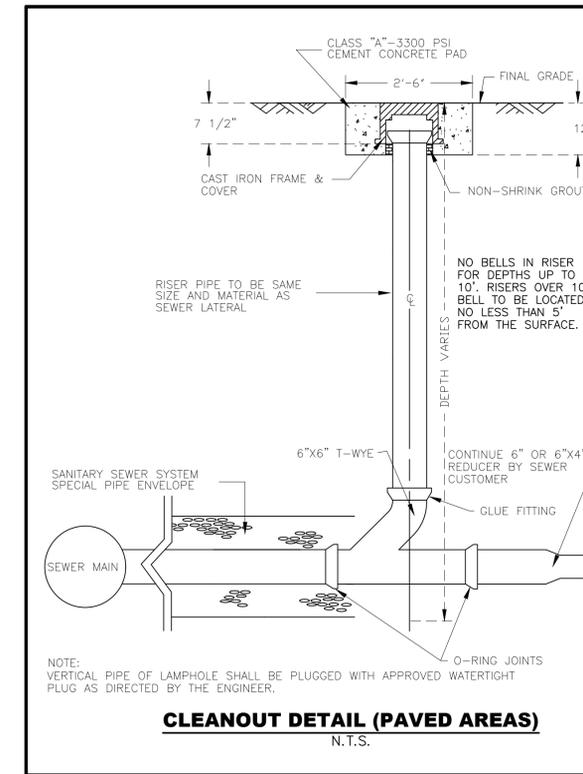
CONCRETE PAD DETAIL
N.T.S.



TYPICAL EVERGREEN TREE PLANTING DETAIL
N.T.S.



CLEANOUT DETAIL
N.T.S.



CLEANOUT DETAIL (PAVED AREAS)
N.T.S.

FLOOD

FURNACE CREEK

PLANTING SCHEDULE

BUFFER YARD

REQUIREMENTS FOR BUFFER TREE PLANTINGS ARE PER SECTION 803.D OF THE LENHARTSVILLE BOROUGH ZONING ORDINANCE. PER SAID ORDINANCE, BUFFER YARDS SHALL PRIMARILY INCLUDE EVERGREEN PLANTS SCREENING.

(1) BUFFER YARDS SHALL HAVE A MINIMUM WIDTH OF 5 FEET UNLESS A LARGER WIDTH IS REQUIRED BY ANOTHER PROVISION OF THIS ORDINANCE. BUFFER YARDS SHALL PRIMARILY INCLUDE EVERGREEN PLANTS SCREENING.

(2) A 5 FOOT BUFFER MUST BE PROVIDED ALONG THE EASTERN PROPERTY LINE DUE TO THE SITE ABUTTING THE NEARBY RESIDENTIAL DWELLINGS.

(3) EACH BUFFER YARD SHALL INCLUDE A PLANTING SCREEN OF TREES OR SHRUBS EXTENDING THE LENGTH OF THE LOT LINE.

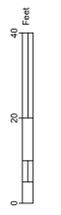
(4) IF MORE THAN 20 EVERGREEN PLANTS ARE PROPOSED, NO MORE THAN 50 PERCENT SHALL BE OF ONE SPECIES.

PROPOSED PLANT SPECIES	BOTANICAL NAME	MIN. PLANTING SIZE	EST. MATURE SIZE	PLANTING REQUIREMENT	PROPOSED PLANTINGS
(S)ER - EASTERN RED CEDARS	JUNIPERUS VIRGINIANA L	6 FOOT HEIGHT	(45'-60') IN HEIGHT	10 PER 100 L.F. FRONTAGE	6
(PA)IL - AMERICAN HOLLY	LIECH OPAKA	4 FOOT HEIGHT	(45'-60') IN HEIGHT	N/A	7
TOTAL TREES PROPOSED:					13

LEGEND

EVERGREEN TREES:

- (S) - EASTERN RED CEDAR
- (PA)IL - AMERICAN HOLLY
- BOUNDARY
- TRACT LINES (WITHIN OVERALL SUBJECT PARCELS)
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT
- ADJOINING PROPERTY LINE
- EXISTING ZONING/TOWNSHIP BOUNDARY
- EXISTING STORM SEWER LINE/ANLET
- EXISTING ELECTRIC LINE (UNDERGROUND)
- EXISTING ELECTRIC LINE (OVERHEAD)
- EXISTING SANITARY SEWER LINE/MANHOLE
- EXISTING SANITARY LATERAL (UG)
- EXISTING CURB
- EXISTING EDGE OF ROAD (PAVED)
- EXISTING EDGE OF ROAD (UNPAVED)
- EXISTING DRIVEWAY
- EXISTING ROAD CENTERLINE
- EXISTING FENCE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- SOILS DELINEATION LINE
- STREAM CHANNEL
- FEMA DELINEATED FLOODPLAIN
- EXISTING BRUSHLINE
- EXISTING BUILDINGS
- EXISTING SIGN
- EXISTING WELL
- BOUNDARY CORNER
- OUT
- PROPOSED BUILDING
- PROPOSED BUILDING - SETBACK LINE
- PROPOSED SEWER LATERAL
- PROPOSED STORM SEWER - PIPING
- PROPOSED WATER LATERAL
- PROPOSED CURBLINE
- PROPOSED DRIVEWAY
- PROPOSED GARAGE
- PROPOSED CONCRETE
- PROPOSED CONTOUR INDEX
- PROPOSED CONCRETE
- EXISTING UTILITY-POLE
- EXISTING MONUMENTATION
- MONUMENT



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 CIVIL ENGINEERING & LAND DEVELOPMENT & SITE SURVEY & A/E/T/EC/O/A

LANDSCAPING PLAN
 PREPARED AS PART OF THE
PERMA COLUMN LD
 PREPARED FOR
PERMA COLUMN LLC.
 SITE BIRTHDAY
 LEHARTSVILLE BOROUGH, BERKS COUNTY, PENNSYLVANIA

PROJECT MANAGER	LAK
DRAWING FILE NAME	zlan
PLAN ORIGINATION DATE	3-22-24
PLAN LAST REVISED	5-15-24
PLAN SCALE	1" = 20'
PROJECT NUMBER	5577
SHEET NUMBER	2.00 OF 7

EROSION CTRL MAINT NOTES

TO ENSURE ADEQUATE FUNCTION OF THE TEMPORARY CONTROLS, A MAINTENANCE PROGRAM SHALL BE INITIATED WHICH INCLUDES THE FOLLOWING AT A MINIMUM. ALSO, MAINTENANCE DURING CONSTRUCTION AND PRIOR TO FINAL STABILIZATION OF THE SITE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR HIS CONTRACTOR.

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EAS PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL NOTIFY ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EAS PLAN PREPARER, THE PSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE-CALL SYSTEM SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBSTRUCTIONAL MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EAS BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EAS PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL SPOILED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2001 ET. SED., 271.1, AND 287.1 ET. SED. NO BUILDING MATERIALS OR WASTES OR UNUSUED BUILDING MATERIALS SHALL BE BURNED, BURIED, OR DISCHARGED AT THE PROJECT SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FILL FROM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL. TEST TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN. OTHER UNSTABILIZED VEGETATED AREAS SHALL NOT BE ENTERED.
14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs FOR EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REINFORCING AND REINTEGRIATION MUST BE PERFORMED IMMEDIATELY. IF EAS BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
16. A LOG SHOWING DATES THAT EAS BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND MADE AVAILABLE TO THE REGULATORY AGENCY OFFICIAL AT THE TIME OF INSPECTION.
17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY EXISTING DITCH, STORM SEWER, OR SURFACE WATER CHANNEL.
18. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES @ 8 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 3 INCHES OF TOPSOIL TO BE PLACED TO SEEDING AND MULCHING. FILL OUTCROPPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REINFORCE SETTLEMENT, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL ORDINANCES OR CODES.
21. ALL CARBEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBSTRUCTIONAL MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
24. FILLS SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. OUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS UNDER 10 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLENDED ACCORDING TO THE STANDARDS OF THIS PLAN.
27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES IN ANY AREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS, WITH PROTECTIVE BLANKETS. SUCH BLANKETS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION, OUTFLOW AND FILL. SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
29. EAS BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE EAS BMPs.
31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
33. FAILURE TO CORRECTLY INSTALL EAS BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF EAS BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$100,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATOR.

GRADING STANDARDS:

TAKEN FROM PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.

1. STOCKPILES, BORROW AREAS AND SPILL AREAS SHOULD BE SHOWN ON THE PLAN MAPS AND SHOULD BE SUBJECT TO THE PROVISIONS OF THESE STANDARDS.
2. WHEREVER POSSIBLE, FILLS SHOULD NOT BE CONSTRUCTED FROM OR BUILT UPON SOILS KNOWN TO BE LOW SHEAR STRENGTH OR THAT HAVE BEEN IDENTIFIED AS LANGSLET PRONE UNLESS IT CAN BE SHOWN THAT IT CAN BE DONE WITH AN ACCEPTABLE SAFETY FACTOR.
3. WHEREVER FILLS ARE TO BE CONSTRUCTED OUT OF OR ONTO SOILS IDENTIFIED AS HAVING LOW SHEAR STRENGTH OR ARE LANGSLET PRONE, A REPORT SHOULD BE PREPARED BY A PROFESSIONAL GEOTECHNICAL ENGINEER OR PROFESSIONAL GEOLOGIST WHICH ADDRESSES THE FOLLOWING:
 - A. THE CHARACTER OF THE BEDROCK AND ANY ADVERSE GEOLOGIC CONDITION IN THE AREA OF THE FILLS INCLUDING PREVIOUS SLOPE FAILURES;
 - B. A SURVEY OF ALL SPRINGS, SEEPS, AND GROUNDWATER FLOW OBSERVED OR ANTICIPATED DURING THE PERIODS IN THE AREAS OF THE FILLS;
 - C. THE MAXIMUM STRENGTH OF SLOPE AND HEIGHT OF FILL TO BE CONSTRUCTED ON THE SITE;
 - D. A STABILITY ANALYSIS INCLUDING, BUT NOT LIMITED TO, STRENGTH PARAMETERS, PORE PRESSURES, AND LONG-TERM SETBACK CONDITIONS. THESE DATA SHOULD BE ACCOMPANIED BY A DESCRIPTION OF ALL ENGINEERING DESIGN ASSUMPTIONS AND CALCULATIONS AS WELL AS THE ALTERNATIVES CONSIDERED IN SELECTING THE DESIGN SPECIFICATIONS AND TESTING METHODS;
 - E. THE ESTIMATED FACTOR OF SAFETY USED TO DESIGN THE SLOPES; AT A MINIMUM, THE LONG-TERM SAFETY FACTOR SHOULD BE 1.5 FOR CUTS AND FILLS WITHIN 50 FEET OF PUBLIC HIGHWAYS, RAILROADS, SURFACE WATERS, OR WHERE FAILURE COULD ENDANGER PUBLIC SAFETY. THE SAFETY FACTOR SHOULD BE A MINIMUM OF 1.25 FOR ALL OTHER FILLS.
 - F. TO AVOID ENDANGERING REGULATED WATERS OR PUBLIC TRANSPORTATION FACILITIES, A MINIMUM SETBACK SHOULD BE MAINTAINED ACCORDING TO TABLE 16.1.

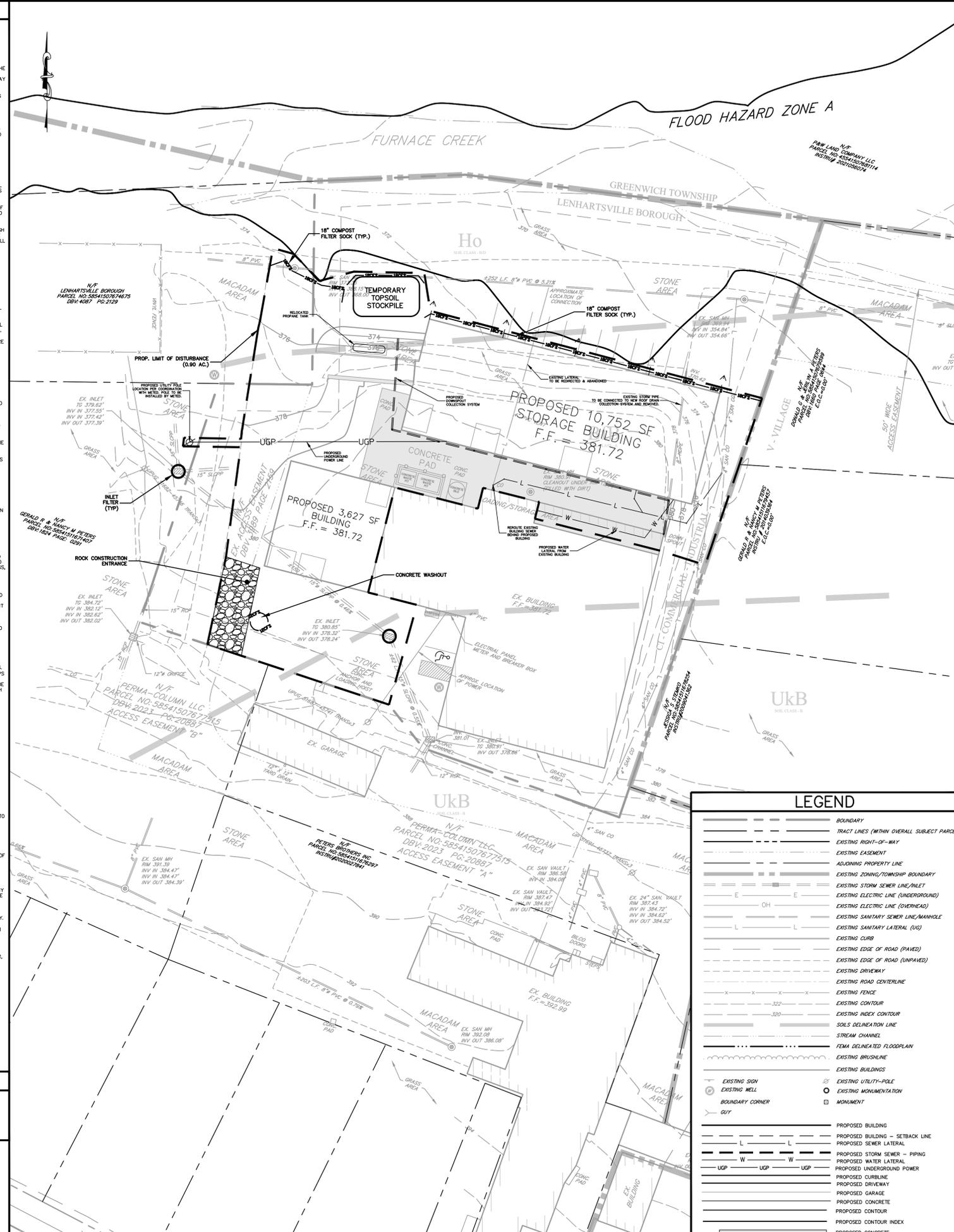
TABLE 16.1
RECOMMENDED MINIMUM SETBACKS FOR FILL PLACEMENT IN THE VICINITY OF REGULATED WATER, HIGHWAYS, RAILROADS, AND OTHER PUBLIC TRANSPORTATION FACILITIES*

HEIGHT OF FILL (FT)	MINIMUM SETBACK (FT)
< 10	10
10 - 25	25
25 - 50	50
> 50	1 FT OF SETBACK PER FT OF HEIGHT

*GREATER SETBACK DISTANCES MIGHT BE NEEDED IF SOIL/BEDROCK, RUNOFF, OR GROUNDWATER CONDITIONS ARE SUCH THAT A SIGNIFICANT THREAT TO PUBLIC HEALTH AND SAFETY IS POSED OR IN SPECIAL PROTECTION WATERSHEDS. LESSER SETBACKS MAY BE CONSIDERED BY THE DEPARTMENT IN CASES WHERE SPECIAL SPECIAL STABILITY MEASURES ARE UNDERTAKEN OR IT CAN BE SHOWN THAT THE DESIRED LONG-TERM SAFETY FACTOR IS PROVIDED.

SINKHOLE STATEMENT

IN THE EVENT THAT A SINKHOLE IS ENCOUNTERED DURING CONSTRUCTION SUFFICIENT REPAIRS MUST BE MADE TO THE SINKHOLE. REFER TO THE SINKHOLE REPAIR DETAIL LOCATED IN THE CONSTRUCTION DETAILS SHEET. THE STAGING ASSOCIATED WITH THAT DETAIL IS THE MINIMUM REPAIR THAT SHOULD BE UNDERTAKEN. A QUALIFIED STRUCTURAL ENGINEER SHOULD BE CONSULTED PRIOR TO REPAIRING THE SINKHOLE TO ENSURE THAT THE INDICATED METHOD WILL WORK SUCCESSFULLY FOR EACH SINKHOLE ENCOUNTERED. THE ORIGINAL QUALITY CONTROL ENGINEER SUPERSEDES THAT OF TCG AND ANY RECOMMENDATIONS MADE BY SAID INDIVIDUAL OR FIRM SHOULD BE FOLLOWED.



SITE SEEDING

IF A DIFFERENT SEED MIXTURE IS TO BE USED IT MUST BE APPROVED BY THE APPROPRIATE CONSERVATION DISTRICT PRIOR TO APPLICATION. THE SEEDING MIXTURES PROVIDED BELOW ARE AVAILABLE FROM ERNST CONSERVATION SEEDS, MEADVILLE PA, 1-800-373-3321, WWW.ERNSTSEED.COM

TEMPORARY SITE SEEDING SPECIFICATIONS:
SEED MIXTURE:
 ERNST QUICK EROSION CONTROL COVER MIX: ERNM-104
 BOTANICAL NAME: COMMON NAME PERCENT (%) OF MIX BY WEIGHT
 LOLUM MULTIFLORUM ANNUAL RYEGRASS 50.0%
 LOLUM PERENNE TURF TYPE PERENNIAL RYEGRASS 50.0%

SEED AT 50 BULK POUNDS PER ACRE.
ADDITIONS:
 ADDITIVE APPLICATION RATE (PER ACRE)
 FERTILIZER (10-20-10) 300 POUNDS
 MULCH (HAY OR STRAW) 3 TONS

PERMANENT SITE SEEDING SPECIFICATIONS:
GENERAL SITE PREPARATION:
 ELIMINATE ANY WEED GROWTH PRIOR TO SEED INSTALLATION USING AN APPROPRIATE HERBICIDE TO CONTROL UNDESIRABLE VEGETATION. SUPPLEMENT TOPSOIL WITH LEAF COMPOST MIXED THOROUGHLY INTO THE TOP 8 INCHES OF SOIL. FOR OPTIMAL SEED ESTABLISHMENT, SOIL PH SHALL BE BETWEEN 5.5 AND 6.5.

SEEDING APPLICATION:
 CAREFULLY PROPORTIONING SEED FOR THE ENTIRE AREA. BROADCAST SEED INTO TWO SEPARATE APPLICATIONS BY SPREADING AT HALF THE SUGGESTED RATE FOR EACH APPLICATION TO ENSURE EVEN AND ADEQUATE COVERAGE. AFTER THE FULL RATE OF SEEDING HAS BEEN ACHIEVED, FOLLOW BY ROLLING OR TRACKING SEED INTO THE TOP 3 INCH OF SOIL TO ACHIEVE GOOD SEED TO SOIL CONTACT. DO NOT ROLL OR TRACK THE SEED IF SOIL IS WET. COVER WITH A LIGHT LAYER OF SALT HAY.

SEED MIXTURE:
 ERNST RETENTION EASTERN ECOTYPE NATIVE GRASS MIX: ERNM-177
 BOTANICAL NAME: COMMON NAME PERCENT (%) OF MIX BY WEIGHT
 ANDROPOGON GERARDI, ROUNTEE RYEBLUESTEM 26.0%
 ELYMUS VIRIDISSIMUS VIRGINIA WILD RYE 23.0%
 SCHIZACHYRIUM SCOPARIUM, LITTLE BLUESTEM 14.0%
 PA ECOTYPE INDIAN GRASS 14.0%
 SORGHASTRUM NUTANS, PA ECOTYPE 14.0%
 AGROSTIS PERENNANS CANADA WILD RYE 10.0%
 ELYMUS CANADENSIS SHELTER SHELTER SWITCH GRASS 6.0%

SEED AT 35-40 POUNDS PER ACRE OR 1 POUND PER 1,000 SQUARE FEET.
ADDITIONS:
 ADDITIVE APPLICATION RATE (PER ACRE)
 FERTILIZER (10-20-10 OR 8-24-8) 300 POUNDS
 MULCH (HAY OR STRAW) 3 TONS

FILL MATERIAL NOTES

IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF FILL WILL REST WITH THE ON-SITE CONTRACTOR.

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT SOLID MATERIAL. CLEAN FILL IS A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-18A AND FP-18B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

ANY PERSON BLANDING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATE, TEST, AND ANALYZE, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY RECORDS, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 267 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHEREVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PA.GOV/CDM.

- MATERIAL NOTES:**
1. ALL CARBEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
 2. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBSTRUCTIONAL MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 3. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
 4. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

MULCH TACKING

STRAW AND HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT BLOWING. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO TO SOIL. THIS METHOD IS LIMITED TO SLOPES NOT STEEPER THAN 3 TO 1 AND MACHINERY MUST BE OPERATED ON THE CONTOUR. (NOTE: CRIMPING BY TRAVELING WITH TRACK MACHINERY IS NOT ACCEPTABLE). EXISTING ASPHALT CONTAINING NO SOLVENTS OR OTHER DANGEROUS TOXIC TO PLANT OR ANIMAL LIFE, UNIFORMLY APPLIED AT THE RATE OF 3 GALLONS PER 1,000 S.Y. MAY BE USED TO TACK MULCH. SYNTHETIC OR CHEMICAL BINDERS MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED THAT SUFFICIENT DOCUMENTATION IS SUBMITTED TO AND APPROVED BY THE TOWNSHIP AND THE CONSERVATION DISTRICT TO SHOW THAT THE MATERIAL IS NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES AND OTHERWISE ACCEPTABLE. LIGHTWEIGHT PLASTIC FIBER OR PAPER NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATION.

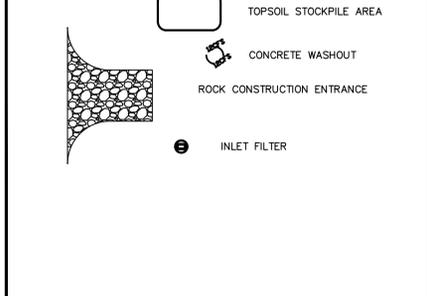
RECYCLING STATEMENT

ALTHOUGH THERE ARE NO KNOWN PROJECT WASTES FOR THIS SITE, INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, CONCRETE WASTE, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE DEVELOPED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

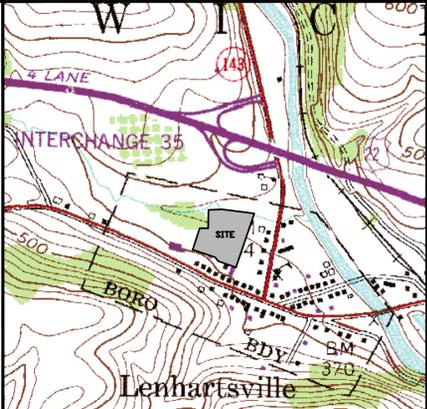
ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE CHAPTER 260, 260A1 ET. SED., 271.1, AND 287.1 ET. SED. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, OR DISCHARGED ON THE SITE.

ALL OFF SITE WASTE AND BORROW AREAS MUST HAVE AN EAS PLAN APPROVED BY THE CONSERVATION DISTRICT OR DEP FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.

LEGEND



SITE LOCATION MAP 1"=800'



CONSTRUCTION SEQUENCE

IN ORDER TO KEEP EROSION AND SEDIMENT POLLUTION DURING CONSTRUCTION TO AN ABSOLUTE MINIMUM, ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING STAGING OF EARTHWORK ACTIVITIES. THESE STAGES SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. AT 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATIONS.

1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE BERKS COUNTY CONSERVATION DISTRICT OR DEP PRIOR TO IMPLEMENTATION.
2. THE LIMIT OF DISTURBANCE, STREAMS, AND WETLANDS SHOULD BE MARKED PRIOR TO DISTURBANCE ACTIVITIES.
3. INSTANT ROCK CONSTRUCTION ENTRANCE IN ACCORDANCE WITH DETAIL TO SERVE AS ACCESS TO SITE.
4. PLACE COMPOST FILTER SOCK & INLET FILTERS AS DEPICTED ON THE PLANS, AND DOWNSTREAM OF ALL EXCAVATED AREAS OR TOPSOIL STOCKPILES AREAS.
5. UPON INSTALLATION OR STABILIZATION OF ALL PERMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
6. CLEAR AND GRUB REMAINDER OF DISTURBED AREAS ON SITE. STRIP TOPSOIL WITHIN AREAS OF PROPOSED EARTHWORK AND STOCKPILE ACCORDING TO PLANS. BEGIN BULK EXCAVATION ACTIVITIES FOR PROPOSED BUILDING AREAS AND STABILIZE.
7. BEGIN CONSTRUCTION OF PROPOSED BUILDING. IF PARKING LOT IS NOT STABILIZED, ACCESS TO THE CONSTRUCTION BUILDING SHALL BE STABILIZED FOR CONSTRUCTION VEHICLE ACCESS.
8. INSTANT REMOVAL OF UNDERGROUND UTILITIES. REFER TO UTILITY LINE EXCAVATION MEASURES. FINISH GRADE, SEED AND MULCH EACH AREA OF DISTURBANCE IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED.
9. REMOVE TEMPORARY CONTROL MEASURES AFTER UNIFORM EROSION RESISTANT PERENNIAL VEGETATION HAS BEEN ESTABLISHED. MINIMUM OF UNIFORM COVER WITH A DENSITY OF 100% ACROSS THE DISTURBED AREA, TO THE POINT WHERE THE SURFACE SOIL IS CAPABLE OF RESISTING EROSION DURING RAINFALL EVENTS AND STABILIZATION OF THE SITE IS COMPLETE TO THE SATISFACTION OF THE BERKS COUNTY CONSERVATION DISTRICT. THE CONSTRUCTION DURING THE REMOVAL OF THE CONTROLS MUST BE STABILIZED. THE BERKS COUNTY CONSERVATION DISTRICT AND LENHARTSVILLE BOROUGH SHALL BE NOTIFIED PRIOR TO REMOVAL OF ANY EROSION CONTROLS.

THERMAL IMPACT STATEMENT

THERMAL IMPACTS FOR THIS PROJECT HAVE BEEN MINIMIZED BY MAINTAINING EXISTING DRAINAGE PATTERNS ON-SITE AND DISCHARGING WATER OVERLAND BEFORE ARRIVING AT THE CHAPTER 93 RECEIVING WATERCOURSE.

SOILS DATA

SOILS DATA OBTAINED FROM A SOIL SURVEY OF BERKS COUNTY, PENNSYLVANIA, ISSUED JANUARY 26, 2024.

B1B - BEDINGTON-BERKS COMPLEX, 0 TO 8 PERCENT SLOPES
 LIMITATIONS - CUTBANKS CAVE, CORROSIVE TO CONCRETE, DROUGHTY, EASILY ERODIBLE, HYDRIC/HYRIC INCLUSIONS, SLOW PERCOLATION, POOR SOURCE OF TOPSOIL, FROST ACTION, PIPING, WETNESS

H0 - HOLLY SILT LOAM, 3 TO 8 PERCENT SLOPES
 LIMITATIONS - CUTBANKS CAVE, CORROSIVE TO CONCRETE/STEEL, FLOODING, DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE, HYDRIC/HYRIC INCLUSIONS, LOW STRENGTH/LANDSLIDE PRONE, SLOW PERCOLATION, POOR SOURCE OF TOPSOIL, FROST ACTION, PIPING, WETNESS

UAB - URBAN LAND-BERKS COMPLEX, 0 TO 8 PERCENT SLOPES
 LIMITATIONS - CUTBANKS CAVE, CORROSIVE TO CONCRETE, DROUGHTY, EASILY ERODIBLE, DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE, HYDRIC/HYRIC INCLUSIONS, SLOW PERCOLATION, POOR SOURCE OF TOPSOIL, FROST ACTION, PIPING, WETNESS

RESOLUTIONS

- CORROSION OF CONCRETE/STEEL - CONCRETE/STEEL MAY NEED TO BE WRAPPED IN CORROSION RESISTANT MATERIAL.
- DEPTH TO SATURATED ZONE/WATER TABLE - U-DRAIN MAY BE REQUIRED FOR ANY SPRINGS ENCOUNTERED. PUMPED WATER FILTER BAG MAY BE NEEDED DURING EXCAVATIONS.
- FINISHED SOIL MAY NOT BE SUITABLE FOR BULK BOTTOM CONSTRUCTION. CLAY MATERIAL MAY NEED TO BE BORROWED FROM ELSEWHERE ON SITE. (OR TRENCH PLUGS)
- LOW STRENGTH - LAYBACK SLOPES/DESIGN FOR CONDITIONS
- HIGH EROSION POTENTIAL - MAINTAIN EROSION CONTROL BMPs
- CUTBANK CAVE - LAYBACK SLOPES
- FLOODING - AVOID WORK IN FLOOD AREAS
- HYDRIC INCLUSIONS - AVOIDANCE, PUMPED WATER FILTER BAG, TRENCH PLUGS
- SLOW PERCOLATION - DRAINAGE DITCH, PUMPED WATER FILTER BAG
- POOR SOURCE OF TOPSOIL - AVOID REUSE AS TOPSOIL OR AMEND AS NECESSARY
- FROST ACTION - CONSTRUCT BELOW FROST DEPTHS/POSITIVE SUBGRADES
- WETNESS - UTILIZE GOOD WEATHER/TEMPORARY DRAIN LINE
- PONDING - PROVIDE POSITIVE DRAINAGE

CHAPTER 93 CLASSIFICATION

THE STORMWATER DRAINAGE FROM THIS SITE DISCHARGES TO FURNACE CREEK. BASED ON PENNSYLVANIA CODE CHAPTER 93, FURNACE CREEK IS DESIGNATED AS T5F WHICH IS A TROUT STOCKING FISHERY.

ACT 121 NOTIFICATION

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 121 OF 2008, AS AMENDED BY ACT 172 OF 1998 AND ACT 267 OF 1974, CONTRACTORS MUST VERIFY LOCATION OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SYSTEM AT 1-800-242-1776, NO LESS THAN 3, NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

PROJECT MANAGER: LAK

DRAWING FILE NAME: ZES

PLAN ORIGINATION DATE: 3-22-24

PLAN LAST REVISED: 5-15-24

PLAN SCALE: 1" = 30'

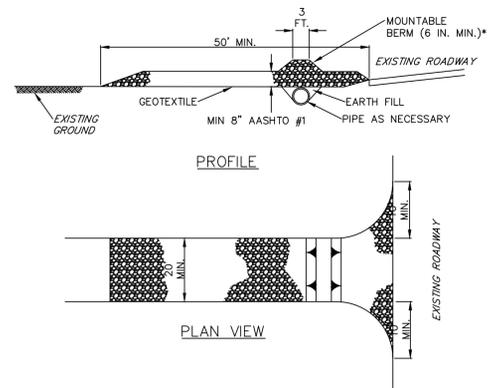
PROJECT NUMBER: 5577

SHEET NUMBER: 3.00 OF 7

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LEHARTSVILLE BOROUGH BERKS COUNTY PENNSYLVANIA



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

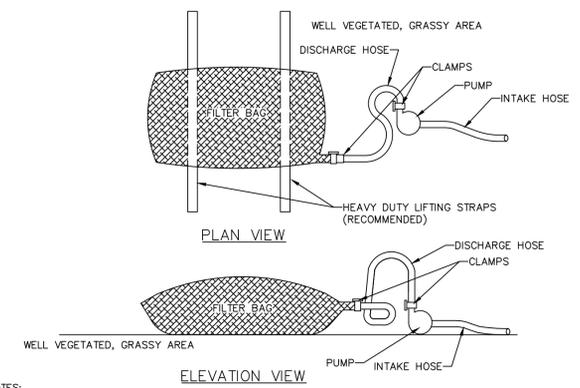
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE



NOTES:
LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

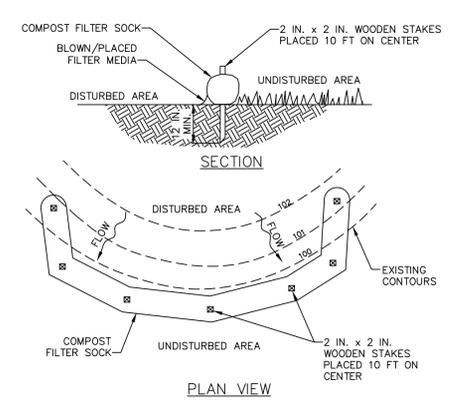
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG**

NOT TO SCALE



NOTES:
SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

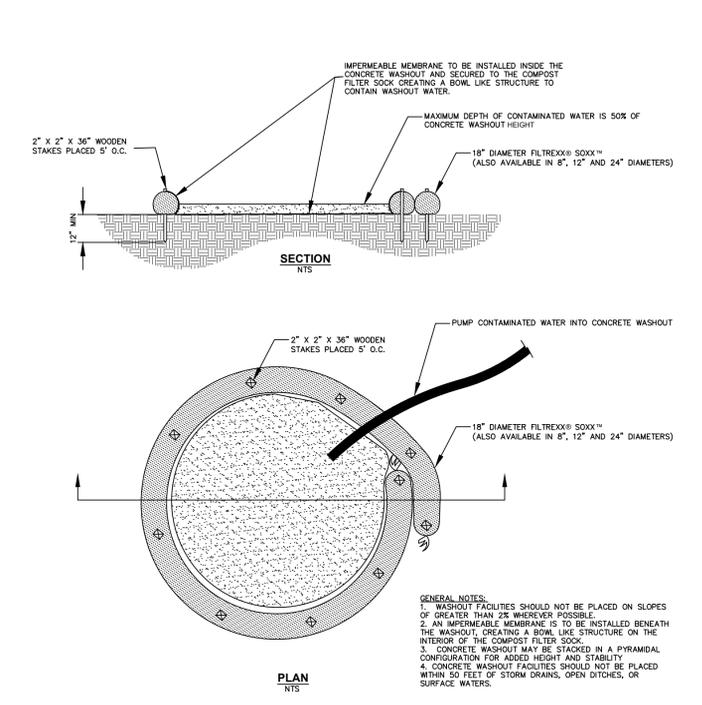
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK**

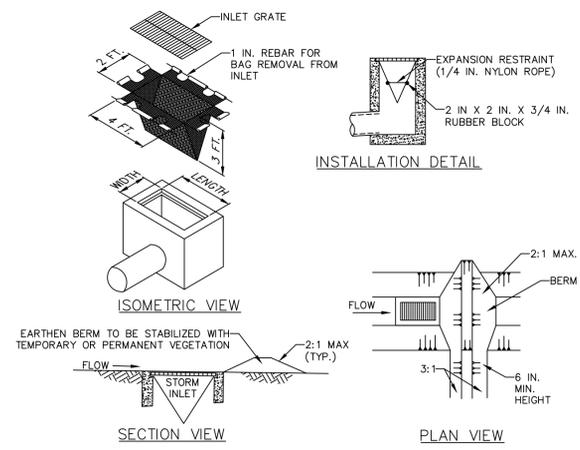
NOT TO SCALE



GENERAL NOTES:
1. WASHOUT FACILITIES SHOULD NOT BE PLACED ON SLOPES OF GREATER THAN 2% UNLESS OTHERWISE SPECIFIED.
2. AN IMPERMEABLE MEMBRANE IS TO BE INSTALLED BENEATH THE WASHOUT, CREATING A BOWL LIKE STRUCTURE ON THE INTERIOR OF THE COMPOST FILTER SOCK.
3. CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
4. CONCRETE WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS.

MAINTENANCE NOTES:
1. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
2. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
3. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

**FILTREXX® CONCRETE WASHOUT
N.T.S.**



NOTES:
MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

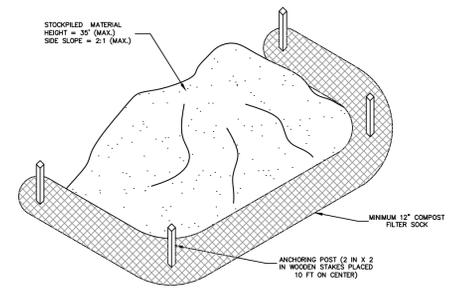
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET**

NOT TO SCALE



**STOCKPILE CONTROL
N.T.S.**

**TABLE 4.1
Compost Sock Fabric Minimum Specifications**

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
Two-ply systems					
Inner Containment Netting	HDPE biaxial net				
	3/4" X 3/4" Max. aperture size				
	Continuously wound				
Outer Filtration Mesh	Fusion-welded junctures				
	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)				
	3/16" Max. aperture size				
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.					

**TABLE 4.2
COMPOST STANDARDS**

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5-8.5
MOISTURE CONTENT	30%-60%
PARTICLE SIZE	30%-50% PASS THROUGH #8 SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

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CONSTRUCTION DETAILS - E&S
PREPARED BY THE
PERMA COLUMN LD
PREPARED FOR
PERMA COLUMN LLC.
SITE BIRMINGHAM
LEHARTSVILLE BOROUGH, BERKS COUNTY, PENNSYLVANIA

PROJECT MANAGER
LAK
DRAWING FILE NAME
ZDET
PLAN ORIGINATION DATE
3-22-24
PLAN LAST REVISED
5-15-24
PLAN SCALE
N.T.S.
PROJECT NUMBER
5577
SHEET NUMBER
3.01 OF **7**